

Name of Project:

Establishment of lumber yard and hardware store

Address of development site:

Parcel # 251, Block 1 No. 12 Village, South Public Road, Bath Settlement, West Coast Berbice.

Name of Developer/company:

N Kadim Lumber Yard and Hardware

Nazeela Sukhdeo and Mahendra Sukhdeo, Lot 30, Bath Settlement, West Coast Berbice.

Telephone: 328 7062 and 621 9733

Sector:

Forestry and Distribution

Date prepared:

June 12, 2024



Description of Site

The site is located at Parcel # 251, Block 1 No. 12 Village, South Public Road, Bath Settlement, West Coast Berbice.

The area to be occupied is approximately 9,800 square feet and sits on a curb, bordered in front by the main public road, on the eastern side by the street, and on the other 2 sides by private residences.

The area is very rapidly being commercialized and the site in question sits obliquely opposite an existing business of a similar nature owned and operated by the principals.

There are no specific requirements beyond the usual local NDC and Housing Ministry's approval for construction of the buildings and other structures to facilitate the business activities. These are at an advanced stage of processing/completion.

Project designed

The project is concerned with the establishment of a lumber yard and hardware distribution centre.

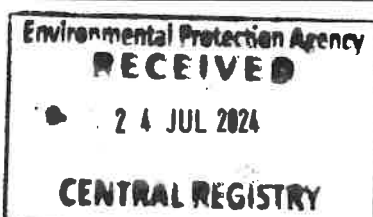
Utility services such as water supply, electricity and communication will be provided at the commencement of construction and be supplied by the respective public utilities.

Solid waste is very minimal since there is no processing or manufacturing on site. Solid waste will be disposed off mainly using the garbage disposal services offered by the local NDC.

Human waste will be taken care off through the use of toilet facilities on site. The septic tanks will be constructed in accordance with the specification as outlined by the GNBS Code of Practice for the Design and Construction of septic tanks and associated Secondary Treatment and Disposal systems. There will be adequate toilet facility for employees and customers use. General cleaning will be done once weekly.

Concrete drains will be constructed to drain excess water.

<u>Job/tasks</u>	<u>Duration</u>	<u>Status</u>
Obtaining permission to build	1 week	Completed
Seeking financing	1 month	Completed
Obtaining EPA permission	1 month	In process
Commencing construction	4 months	Awaiting necessary permissions
Acquiring equipment	ONGOING	
Commencing business	WHEN ABOVE TASKS ARE COMPLETED	



Project size

The capital for investment is approximately \$50,000,000 (fifty million dollars) and this has already been secured through a line of credit from Republic Bank Limited. It should be noted that sufficient equity has been established in the project through the principals' acquisition of the freehold interest in the site.

It is projected that when the business opens its doors at least 25 (twenty five) persons will find meaningful employment.

The aim of this new venture is to provide a complementary service to the existing business which has outgrown its bond and storage capacity, given the country's development trajectory.

Environmental impact

It is anticipated that there will be minimal environmental impact as a result of this new venture. In fact, the waste generated will be no greater than what obtains from any reasonable sized distribution centre.

Notwithstanding, the owners are very keen to ensure that wrappings, bags, boxes, etc, are carefully packed and secured for disposal, using the very reliable service provided by the local NDC.

As it relates to noise, all off-loading/loading of lumber and other items intended for stocking/sale, will be strictly limited to usual working hours and lighting and other energy requirements are anticipated to be powered by the GPL Inc., and in the event of black-outs, solar powered lights/equipment will be engaged.

Summary of project

The project involves purchasing lumber and hardware goods, transporting same to site, storage and sale of same, both on a retail and wholesale basis


Nazeela Sukhdeo.




Mahendra Sukhdeo